



Grand Oaks at Panther Ridge

Architectural Review Guidelines

Bradenton, Florida



Grand Oaks at Panther Ridge

Residential Community Design Guidelines

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INTRODUCTION

The Community's Covenants, Conditions and Restrictions (CCR's) do not list all specific design criteria necessary for plan approval. The purpose of these design guidelines is to define the criteria that will guide development at GRAND OAKS. They are intended to enable the developer to coordinate the activities of various builders within GRAND OAKS to achieve the development goals of having compatible and consistent development throughout. Like any community, GRAND OAKS will grow gradually. Its ultimate form will reflect the numerous design decisions of builders and their design teams. These guidelines are intended to provide the foundation upon which GRAND OAKS will emerge.

The design guidelines have been prepared to assist builders, architects, and landscape architects to become active participants in the design process, and to assure long term community quality. They are not intended to limit development choices or design alternatives, but rather to encourage creativity and innovation, while creating a blend of home styles which will enhance the community environment. The ultimate result will be to heighten property values while creating a cohesive residential character and appeal. The developer will update and revise these guidelines over the course of the development as they determine it necessary.

THE REVIEW PROCESS

The guidelines also outline an efficient and equitable review process that will be administered by the GRAND OAKS Architectural Review Board (ARB). The ARB has been established in recorded documents governing the community, for the purpose of implementing the Design Guidelines.

The Architectural Review Board is available to help you interpret the guidelines and offer suggestions about your housing concepts. We urge you to meet with the ARB as early as possible to assist in planning your home. The power to approve or disapprove building plans is the responsibility of the (ARB).

Nothing contained in these guidelines places any obligation for any government agency to approve any plans, nor shall approval by the ARB be interpreted as meeting the requirement of Manatee County or any other governing agency.

THE DESIGN REVIEW COORDINATOR

Every proposed home within the overall community of PANTHER RIDGE must be reviewed by the Architectural Review Board (ARB) before construction will be approved.

The Design Review Coordinator is appointed by Panther Ridge Communities Ltd. The ARB will review each builder's plans for conformance to GRAND OAKS community design objectives.

All reviews, substitutions and approvals by the Architectural Review Board will be considered binding and final.

Representatives of The Architectural Review Board will stay intact as a functional governing body until such time that the entire community of GRAND OAKS is complete pursuant to section 1.12 of the Homeowner's Association documents. At such time, review and authoritative power will be transferred to the GRAND OAKS Homeowner Association.

The Architectural Review Board and the Association will have authority over design decisions of both new construction, remodels and additions.

The Design Guidelines should also be used as a tool by each approved builder for making decisions on their product and planning design schemes. To obtain specific information on the requirements and procedures for design review contact:

Panther Ridge Communities, Ltd.
3651 Cortez Road West, Suite 300
Bradenton, FL 34210
Phone: (941) 753-1616

REVIEW AND APPROVAL FLOW CHART

1. RESEARCH AND REVIEW

- Architectural and Design Guidelines
- Manatee County Building and Zoning Requirements
- The Preserve Covenants Conditions and Restrictions (CCR'S)

2. PRELIMINARY REVIEW REQUIREMENTS

- Completion of Preliminary Review Application
- Submittal of two (2) Preliminary Design packages with required fee (\$200.00)
- Preliminary approvals to proceed or recommendation for change

3. FINAL REVIEW REQUIREMENTS

- Meeting between Architectural Review Board and Builder and/or Owner
- Completion of Final Review Applications

- Submittal of two (2) Final Design packages
- Final sign-off and approvals by Design Review Coordinator to proceed or recommendations for change

4. FUTURE REMODELING AND ADDITIONS

- Completion of applicable portions of Preliminary Review Application
- Meeting between Architectural Review Board and Builder or Owner.
- Completion of applicable portions of Final Review Application
- Final review, sign-off and approvals by Architectural Review Board to proceed or recommendations for change

COMMUNITY CHARACTER

GRAND OAKS is a part of the Panther Ridge master planned community located in southern Manatee County. Eventually Panther Ridge will consist of approximately 850 homes, parks, hiking, equestrian and biking trails, natural areas, landscaped open spaces and roads.

PANTHER RIDGE is envisioned as a new large lot community intended to provide a comfortable and rewarding environment in which to live and play. A coherent and orderly pattern of "neighborhoods", natural open space, and planned amenities will merge with the site's natural characteristics, beauty, and history.

State Road 70 serves as the main access to GRAND OAKS. Major community entrances will acknowledge the traditional character of PANTHER RIDGE, emphasizing the community's unique features. The road system is planned to respond to the site's natural features, offering changing views and vistas of the lakes & amenities within the community.

COMMUNITY DESIGN THEME

Significant open space will be incorporated into GRAND OAKS. The open space protects the environmentally sensitive and naturally occurring wetlands and drainageway system on site. The open space areas will contain trails and preserves, lakes, stormwater management, scenic views, natural areas, and passive recreational areas. These permanent open space areas constitute approximately 40% of GRAND OAKS.

Each Panther Ridge neighborhood entry will provide a sense of it being a special place, highlighted with signage and landscaping. The parks, lakes, and natural areas will offer opportunities for community events and friendly social interaction. Coordinated signage throughout the community is designed to project a high quality image.

SITE DEVELOPMENT GUIDELINES

The scale of the streetscape, determined by building setbacks and placement of garages, is important in developing a sense of consistency in a community such as GRAND OAKS . Setbacks have been developed in order to achieve a well proportioned streetscape. These setbacks will determine the placement of the home, garages, fences and landscaping.

Setbacks

The front setback of the house shall be a minimum of 50'. On corner lots, the side street facade shall be a minimum of 50'. Bay windows may project a maximum of 2' beyond the minimum front and side setback lines.

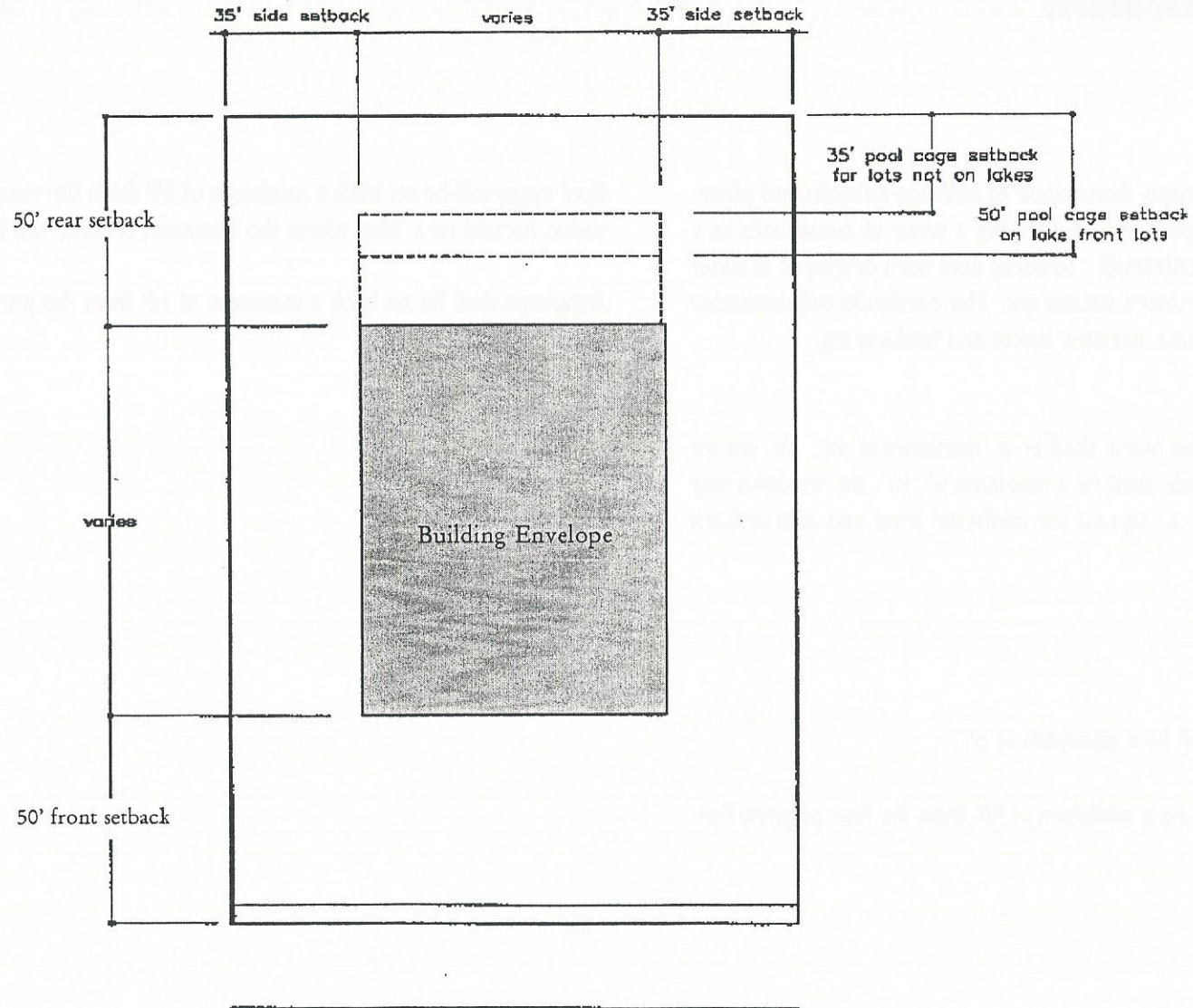
Side yard setbacks shall be a minimum of 35'.

Rear yard setbacks will be a minimum of 50' from the rear property line.

Pool cages will be set back a minimum of 35' from the rear property line unless located on a lake, where the minimum setback will be 50'.

Driveways shall be set back a minimum of 10' from the property line.

SITE DEVELOPMENT GUIDELINES (CONTINUED)



COMMUNITY INFRASTRUCTURE

A Master Engineering and Infrastructure Plan has been prepared by Panther Ridge Communities, Ltd. This plan indicates what utilities and infrastructure needs will be provided to each neighborhood.

The road system, the permanent stormwater detention requirements, and wetland mitigation areas, are the responsibility of the developer. Please refer to the Purchase Agreement and HOA documents to define the limits of what is included and the timing of their availability.

ARCHITECTURAL CHARACTER AND STYLE

While the homes at Panther Ridge are not a particular identifiable style, it is the intent of these guidelines to encourage a more traditional approach to home design.

All proposed designs are subject to approval by the Architectural Review Board.

Eight architectural styles have been selected to guide the development of homes in GRAND OAKS . The different styles allow for a large palette of design elements providing the opportunity for flexibility, creativity and variety while at the same time providing for design quality and cohesiveness.

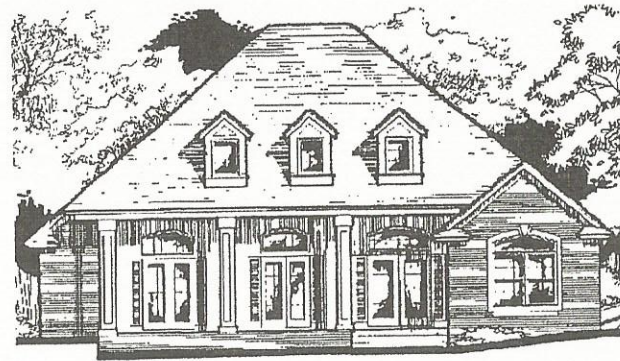
All homes will have a minimum of two (2) car garages. All garages will be side entry. Motor courts servicing the front of the house are allowed.



The architectural styles which have been selected include the following:

1. Colonial Revival
2. Neoclassical
3. Tudor
4. French Country
5. Mediterranean
6. Country
7. Georgian
8. Florida Ranch

Sample sketches of each style are included in this section along with suggested and required elements appropriate to each style.



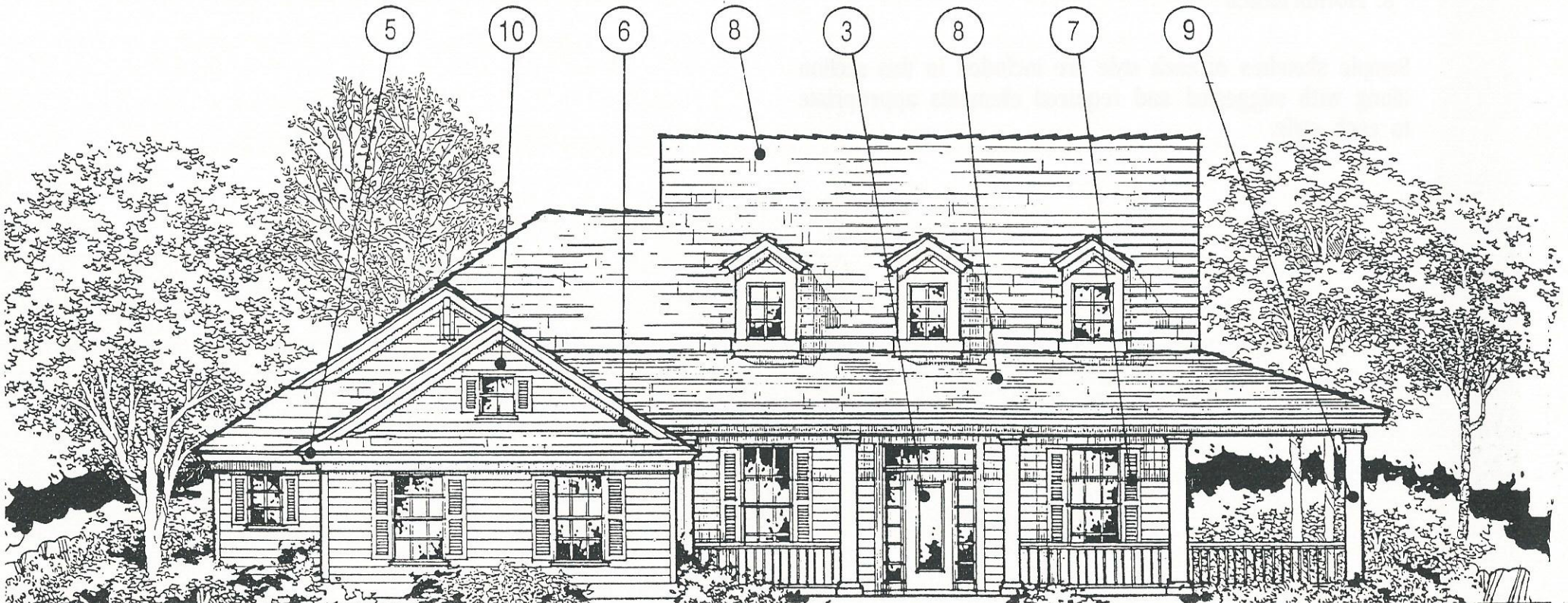
Country

Required

1. Asymmetrical massing.
2. Large and raised single front porch.
3. Front door with multi-pane glass.
4. Multi-pane windows, (front and sides).
5. 18" minimum overhang, shallower on gable ends, (per code).
6. 6" minimum frieze board.
7. Window shutters.
8. 6:12 minimum roof pitch on main body with porch
roof minimum of 4:12
9. Minimum 10" front porch columns.
10. Roofs to be primarily gable (all hips not acceptable).

Suggested

- Roof dormers
- Single entry door.
- No arched windows.
- Stone or brick accents.
- Wood (or PVC) porch handrail.
- Transom above front door.
- Glass in garage doors.



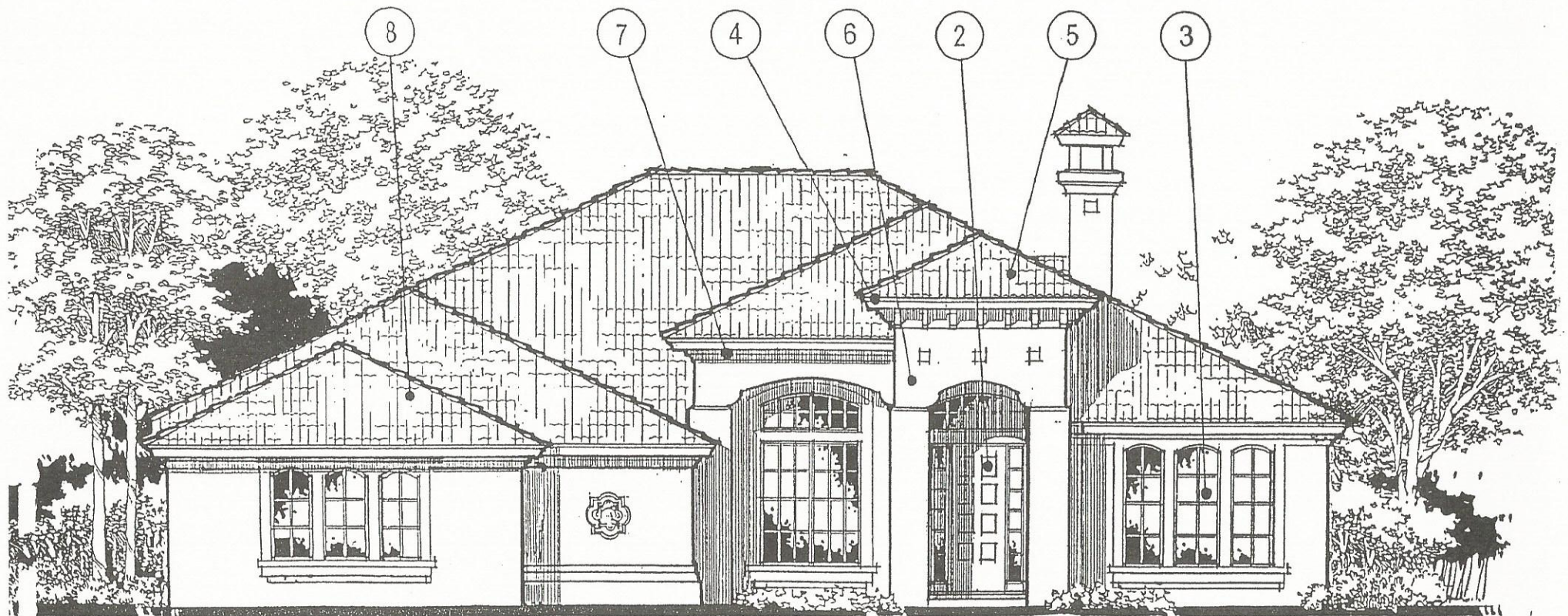
Mediterranean

Required

1. Asymmetrical massing.
2. Little or no eaves - 8" maximum.
3. Solid carved or multi-paneled wood doors with side lights or transom glass.
4. Multi-pane windows (front and sides).
5. Low pitch roof 5:12 to 6:12 with barrel or "S" tile.
6. Textured stucco finish.
7. Frieze banding 6" minimum/
8. Simple gable or hip roofs with no roof returns.

Suggested

- Simple plain wall as back drop for detail elements.
- Quoin on corners.
- Feature towers.
- Multi-level roofs.
- Doors emphasized by columns.
- Triple, arched focal window.
- Arches above windows.
- Decorative grills common on windows.
- Tiled chimney tops.
- Arcades are prominent.
- Cast stone accents.
- Glass in garage doors.



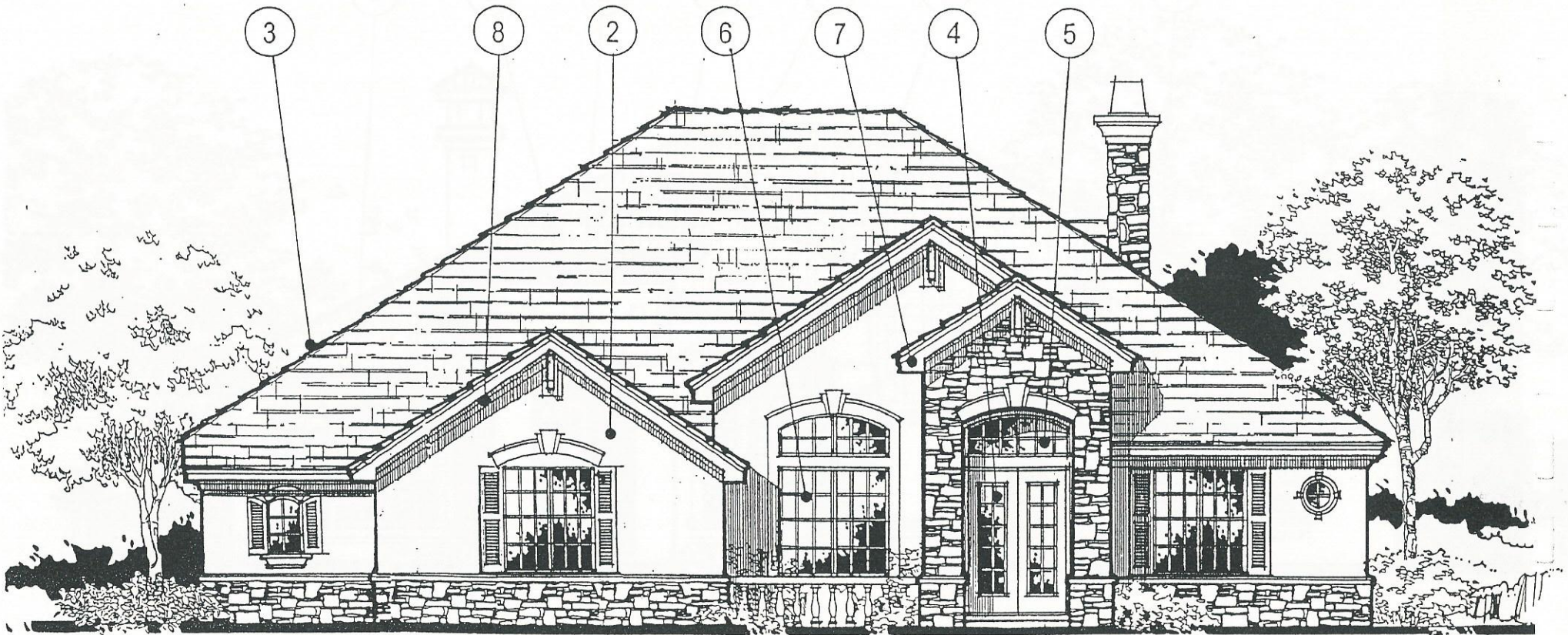
French Country

Required

1. Asymmetrical massing.
2. Front facing gables.
3. 6:12 minimum roof pitch.
4. Front doors with multi-pane glass (French doors).
5. Transom glass above front door.
6. Multi-pane window (front and sides).
7. Minimal overhang (8" to 12") with boxed eaves.
8. Minimum 6" frieze band.

Suggested

- Simple facades with windows highlighted.
- Recessed arched entry with quoins and pediments.
- Double or single entry door.
- Shallow arched windows.
- Window shutters.
- Wrought iron or cast stone balusters.
- Brick or stone accents
- Glass in garage doors.



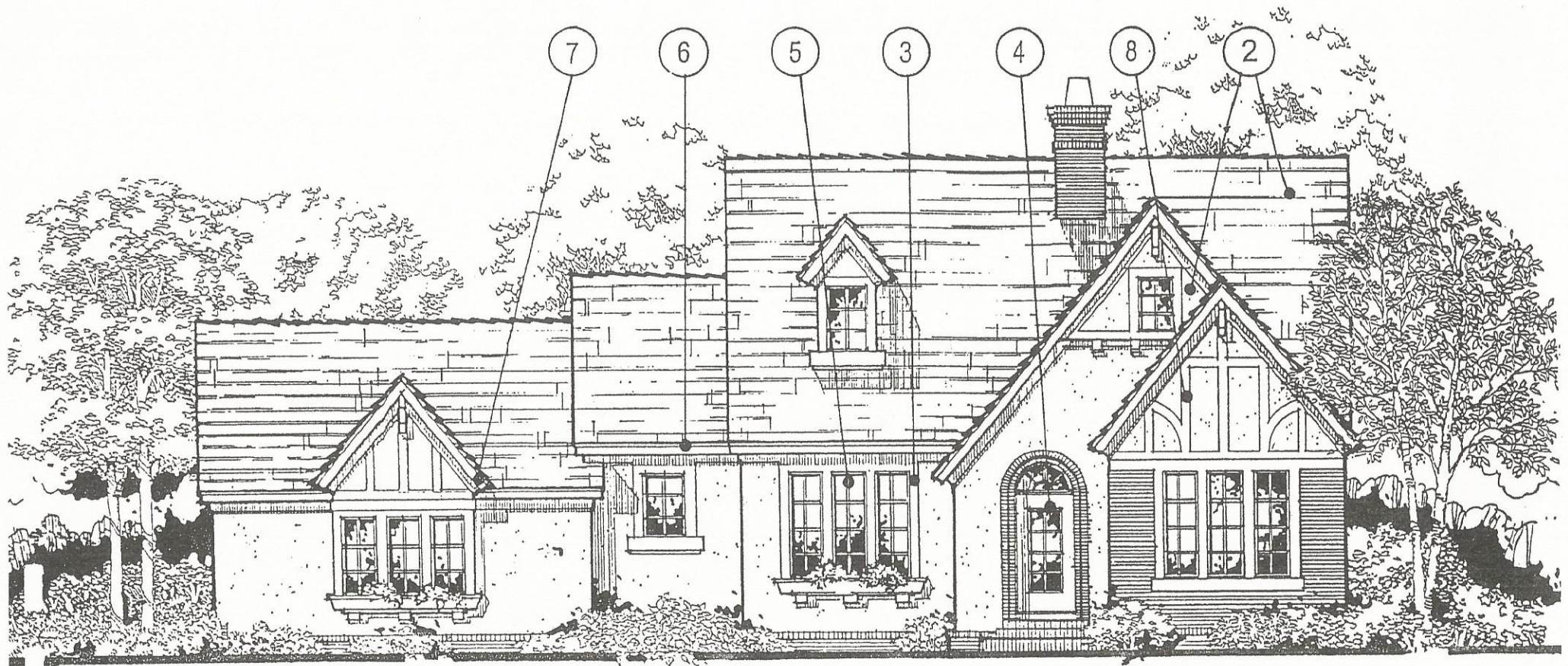
Tudor

Required

1. Asymmetrical massing.
2. 6:12 minimum roof pitch with minimum 10:12 front facing gables.
3. Minimum 6" trim around windows.
4. Multi-pane single front door, with or without glass.
5. Multi-pane windows with 6" divides between rectangular windows.
6. Boxed eave with 6" minimum frieze board.
7. Maximum 12" overhang, 8" on gables.
8. Accent trim (half timbering look) in gable ends.

Suggested

- Roof dormer common.
- Window boxes.
- Raised entry.
- Stone or brick accent with stucco.
- Exposed rafter tails in gables.
- Glass in garage doors.
- Variety of roof heights.



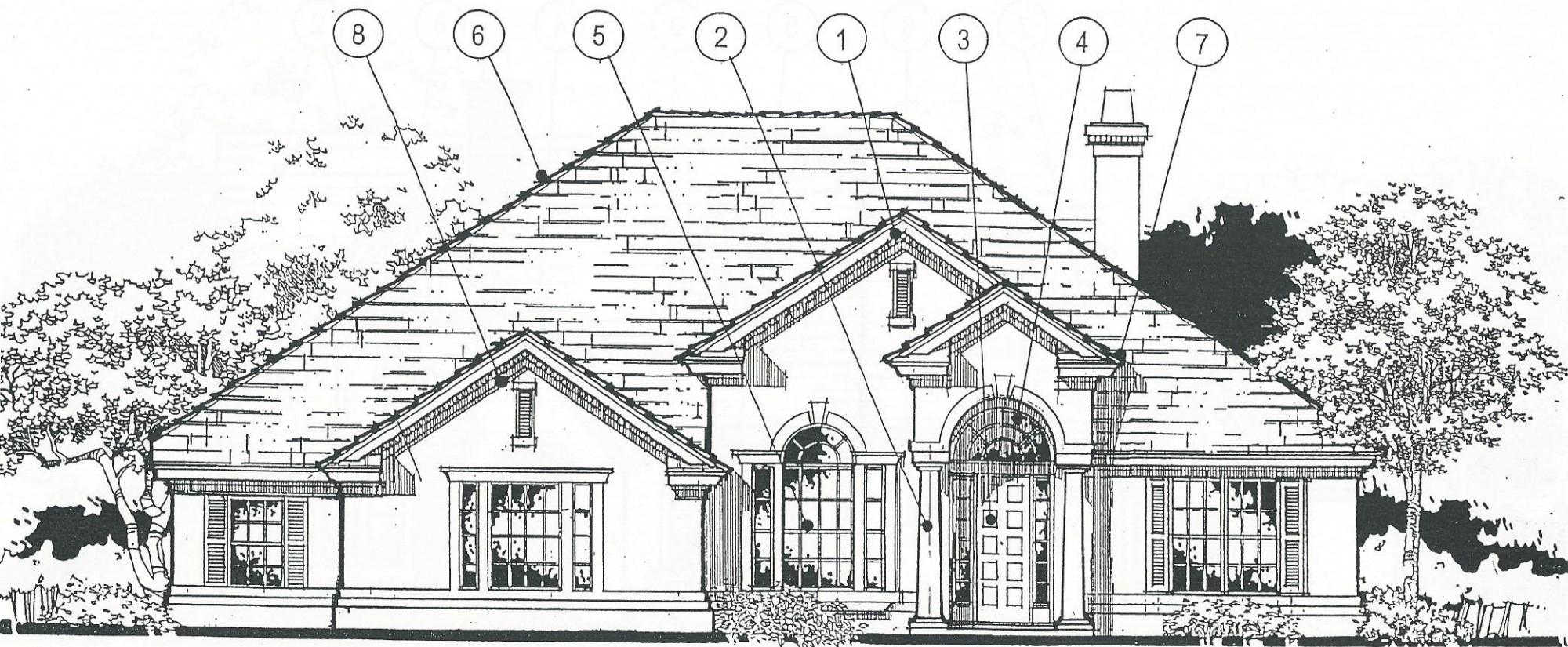
Neoclassical

Required

1. Hipped roofs with prominent gables at entry.
2. Classic columns at front entry.
3. Divided light or multi-panel solid front door.
4. Side lights or transom at front door.
5. Multi-pane windows.
6. 6:12 minimum roof pitch with flat concrete tile.
7. 12" to 24" overhang.
8. 6" minimum frieze band beneath cornice.

Suggested

- Windows placed in orderly manner.
- Elaborate decorative front door surrounds.
- Paired windows with arches or transoms.
- Shutters common.
- Half round accents.
- Dentils often used on cornice.
- Colonnaded "add on" porches either partial or full width.
- 4" to 6" lap siding with corner boards and doors and window trim or smooth sand stucco finish
- Glass in garage doors.



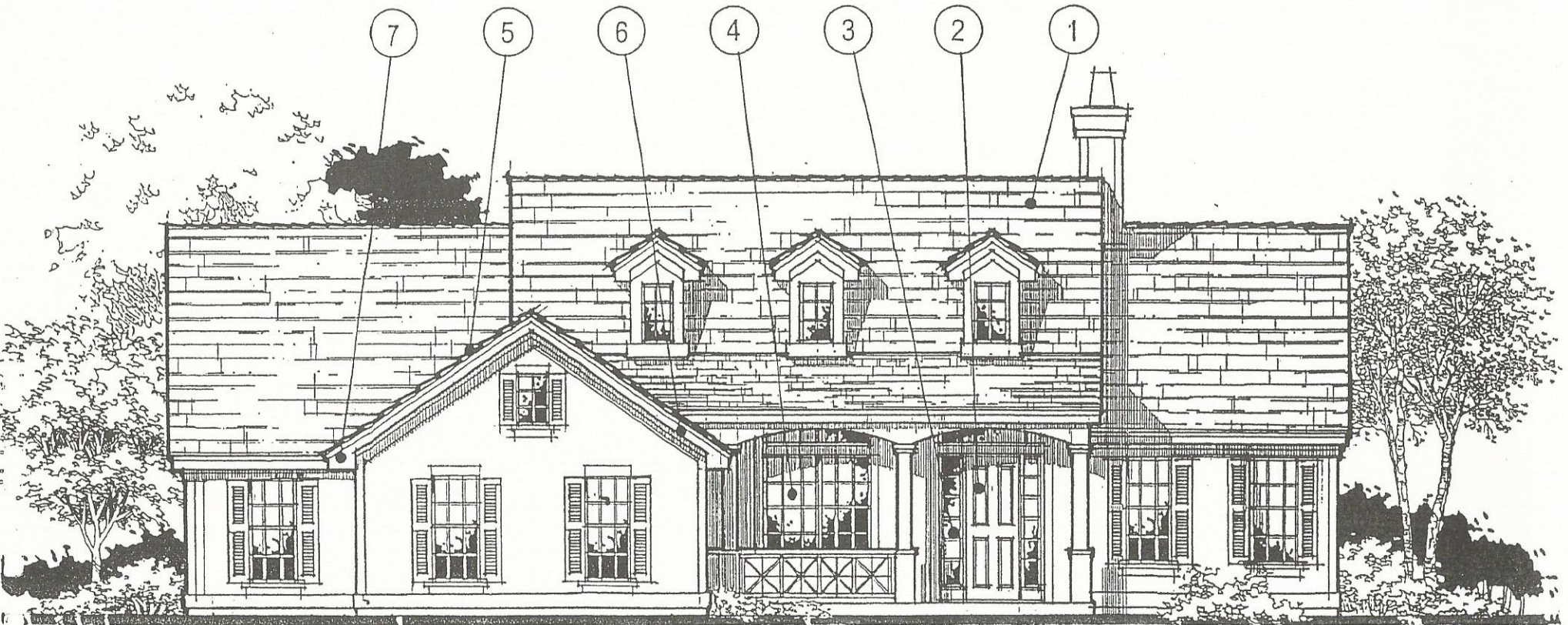
Colonial Revival

Required

1. Front to back gables on main body of house with 6"12 minium roof pitch.
2. 4 or 6 panel front door with or without glass.
3. Side light or tansoms.
4. Multi-pane windows (front & sides).
5. 8:12 minium pitch on gables & dormers.
6. Box eaves with 6" minimum frieze board.
7. 18" overhang, shallower on gable ends (8" to 12").

Suggested

- Symmetrical main body.
- Porch or portico.
- Large continuous front porch.
- Raised foundation.
- Orderly window placement.
- Windows aligned vertical and horizontally.
- Dormers.
- Shuttered windows.
- Lap siding 6" or 8" or smooth sand finish stucco.
- Wood or stucco trim
- Glass in garage doors.



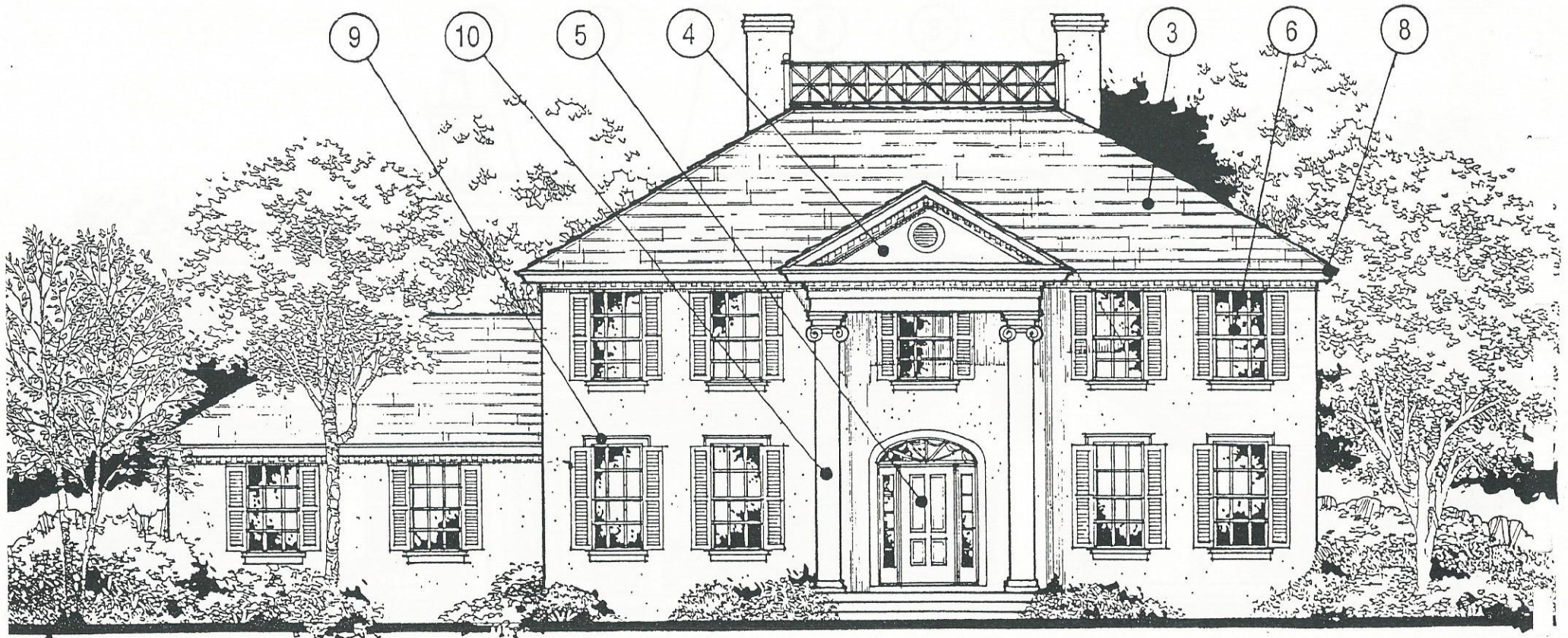
Georgian

Required

1. Symmetrical massing on main body of house
2. Formal window placement.
3. Hipped roof on main body of house.
4. Front facing gable entry feature.
5. Side lights and transom with solid panel front doors.
6. Multi-pane window (front and sides).
7. 6:12 minimum roof pitch 8:12 minimum roof pitch on front facing gables.
8. 12" to 18" overhang shallowers on galbe, (per code)
9. Strong window trim banding details with or without shutters.
10. Porch with columns.

Suggested

- Window shutters.
- "Widow's walk"
- "Dental" work on fascia.
- Raised front entry
- Smooth stucco, brick or lap siding.
- Glass in garage doors.
- Symmetrical chimneys.



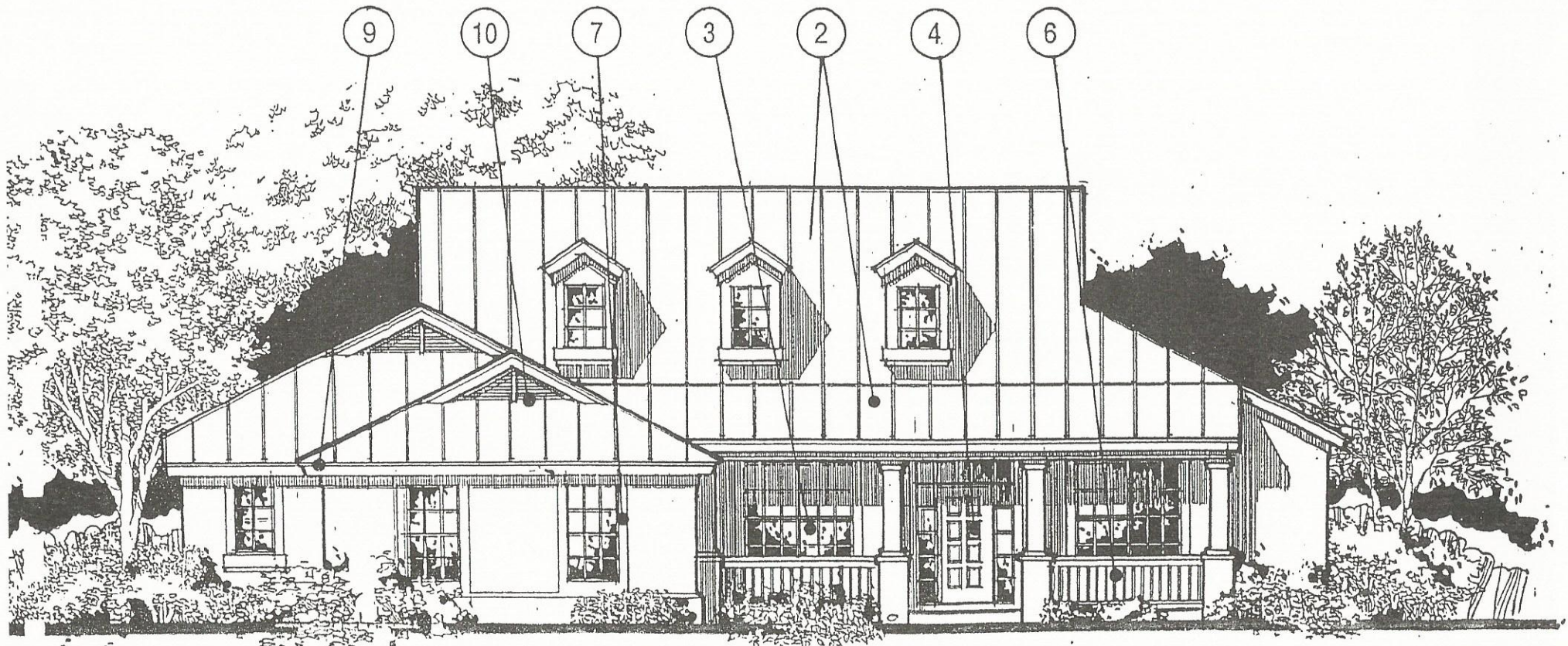
Florida Ranch

Required

1. Asymmetrical massing.
2. 6:12 minimum roof pitch except broken porch roofs to 4:12
3. Multi-pane window (front and sides).
4. Side lights and/or transome at front door.
5. Boxed eave with 6" minimum frieze board.
6. Raised front porch (partial or full front).
7. Minimum 6" banding around windows.
8. 18" minimum overhangs, shallower on able ends, (per code).
9. Gable roof massing (no hipped roofs).

Suggested

- Metal roof.
- Shed porch roof.
- Dormers common.
- Shuttered windows.
- Lap siding 6" to 8" or smooth sand finish stucco.
- Wood or stucco trim.
- Wood (or PVC) handrail on porch.
- Gable end roof vents
- Glass in garage doors.



SCALE AND MASSING

It is strongly recommended that consideration be given to the relationship of architectural massing and scale of building elements for the overall community in GRAND OAKS. The incorporation of second story dormers, porch entries, first floor bays are encouraged for reducing the frontal mass of dwellings. A strong expression of entry is also encouraged.



First Floor Bay



Porch Entry & Second Floor Bay Projection

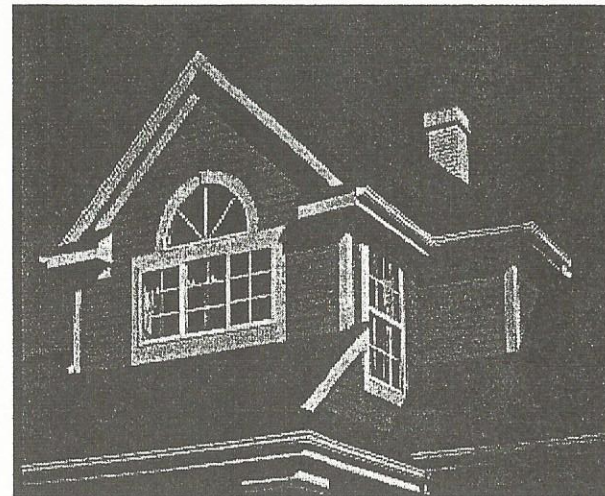


Strong Entry Expression

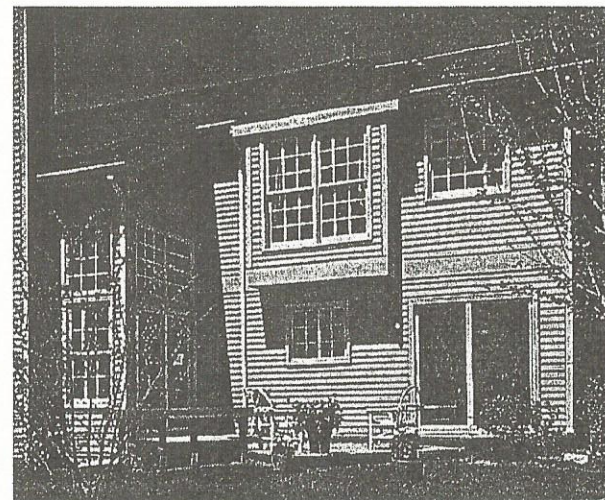
EXTERIOR MATERIALS AND FINISHES

It is encouraged that exterior materials, trim and detailing reflect the desired natural atmosphere of GRAND OAKS. Homes may have an exterior of lap siding (wood, hardboard and vinyl), stucco, stone (or cultured stone) and brick. Siding will have a maximum 6" lap and be trimmed in a traditional manner. Minimum trim board dimensions are as follows: Corner Trim - 8"; Door Trim - 6"; Window Trim - 4"; Frieze Board - 8".

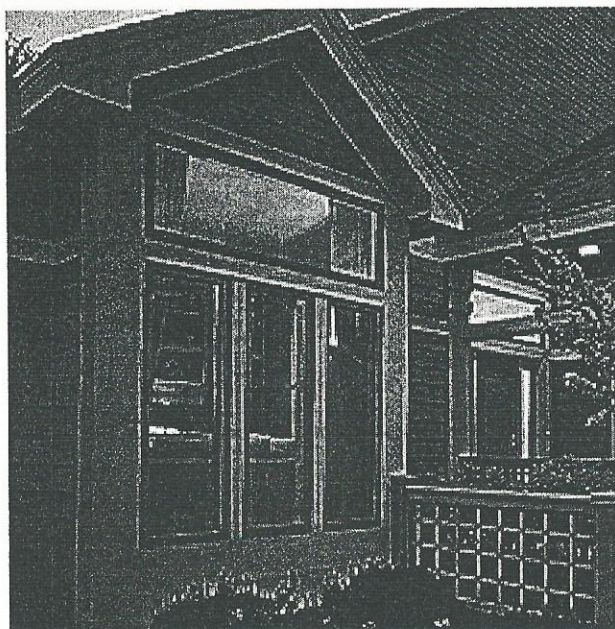
A stucco finish of varying textures is acceptable as an exterior material. Trim detail and character must be in the same context of a sided house. Trim details should be enhanced by multi-layering. Blank elevations are prohibited unless treated with architectural detailing to enhance the character. Entries should receive additional emphasis. Flush rakes are discouraged unless accented with additional detail. Traditional "returned" eaves are encouraged and add authentic detailing.



Traditional Returned Eaves



Band Boards On Two Story Elevations



Corner Boards/Frieze Boards/Window Trim

APPROPRIATE

- Traditional horizontal siding styles with 6" or less exposures.
- Natural trim and accent materials such as wood, brick, stone, stucco.
- Use of lattice or trellis materials in limited areas.
- Wood, vinyl or metal soffits and reinforced fascias.
- Multi-layered flush rakes.

INAPPROPRIATE

- Horizontal siding with exposure greater than 6".
- Exposed galvanized or reflective anodized trims.
- Large scale use of hardboard sidings (particularly fake stucco).
- Metal or fiberglass awnings.
- Single board flush rakes at front elevations.

ROOF PITCHES AND MATERIALS

Simple pitched gable, shed, and minor variations or combinations of these two roof forms will be the predominant roof forms in GRAND OAKS. Side to side roof pitches should be a minimum of 6:12 for the main body of the roof. Front to back roof pitches must be a minimum of 6:12. Roof pitches ranging from 8:12 to 12:12 are encouraged for individual building elements such as dormers, projections, bays, entry porches and the like. Pitches lower than 6:12 are allowed only in specialized cases, such as minor roofs, garage jacks, porches, and in limited areas (subject to approval by the ARB). Roof materials and colors will be reviewed on a case by case basis. Overhangs should be a minimum of 16" with a minimum of 8" on gable ends. Lesser overhangs will be considered during architectural review if it is consistent with the proposed architectural style. Frieze board will be a minimum of 8". Fascia will be plumb and be a minimum of 8" in width with a 1" x 3" trim layer along the top.

APPROPRIATE

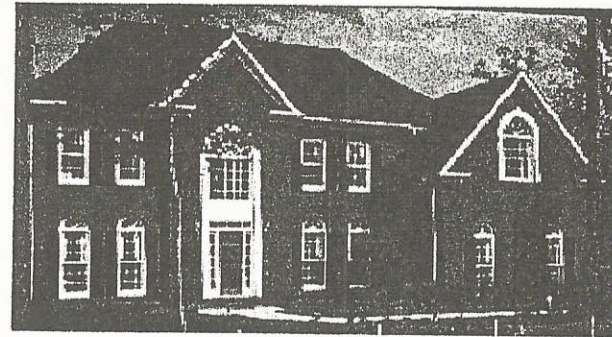
- Combining one and two story roof elements (for flow of roof).
- Multiple gable elements.
- Dormers, projections (Box Bay).
- Varied ridge heights, plate heights and jogs in ridge line.
- Asphalt composition shingles 265 lb. / or greater.

INAPPROPRIATE

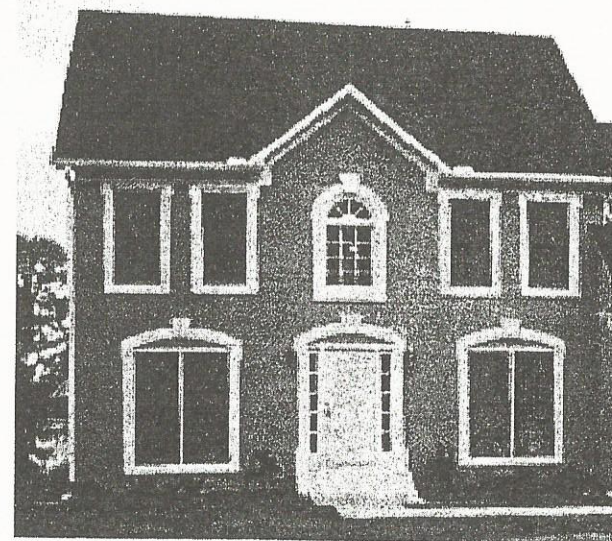
- Gambrel and mansard style roofs (prohibited).
- Flat roofs (prohibited) except small porticos.



Dual Gable With Varied Plate Heights and Ridge Lines



Roofs Flow From One To Two Story With Pop-out



Simple Gable Roof

CHIMNEYS

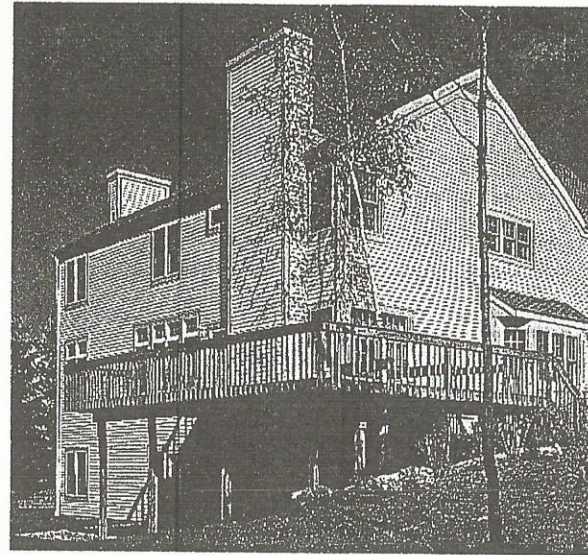
Chimneys should be simple in design, accenting the architectural style of the building to ensure consistency and style. Material and texture can either blend in or serve as an accent for the elevation. Chimney chases should mirror the fascia or trim treatment.

APPROPRIATE

- Chimneys as design elements that add texture and depth to elevation.
- Termination of chimney caps painted to match surrounding field or painted dark to match roof.

INAPPROPRIATE

- Exposed flues (prohibited).
- Unfinished or painted flue caps.



Wood Chimneys



Masonry Chimneys

WINDOWS AND SHUTTERS

A variety of window types and styles (single hung, double hung, transoms and projected bays) are compatible with the architectural styles encouraged at GRAND OAKS. Acceptable materials include aluminum, vinyl, wood and clad wood. Window frames should be white, or blend in with color scheme of trim. Design features such as bays & transoms are encouraged to add articulation to wall and roof planes. Regardless of material, windows should be energy conscious. It is required that skylights be placed either on the side or rear of roofs. Windows may be square, rectangular or arched.

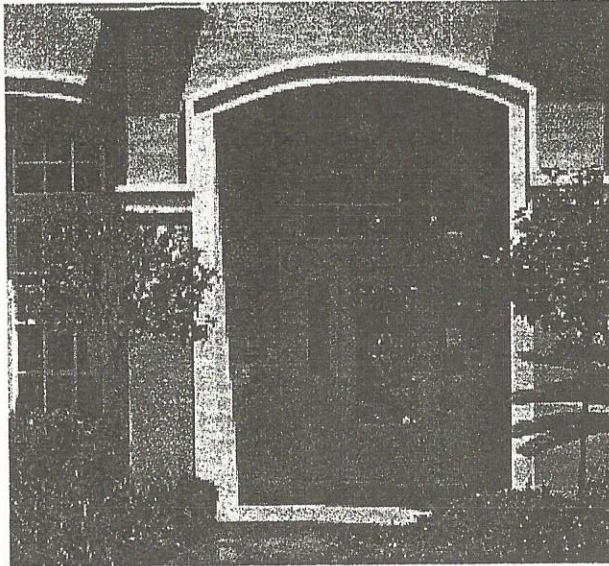
On corner lots, the side elevation facing the street must be treated as front elevation. If shutters are used, they must be a minimum of 1/2 the size of the window. While they do not need to function, they must appear to be authentic. No stucco treatment of shutters will be allowed. Wood or vinyl is acceptable.



Feature Window and Window Bay



Feature with Transoms



Arched Transom

APPROPRIATE

- Detailed window trim at front elevations.
- Use of shutters encouraged with traditional styles: front, side and back elevations.
- Muntins on front, side and rear elevations with traditional styles *are required*.
- Arched, square and transom windows.

INAPPROPRIATE

- Mill or anodized finishes.
- Reflective glass.
- Untrimmed windows on front elevations and sides.
- Skylights on front elevations.
- Awnings on front elevations.

FRONT ENTRY, SERVICE, PATIO, AND GARAGE DOORS

Door styles and colors should be used in such a way to emphasize the front entry and de-emphasize the garage and service doors. Exterior doors are focal points and should be protected with sufficient overhangs or by front porches at the main entry door. Wood, insulated metal and quality hardboard materials are acceptable. Monotony should be considered, and use of a variety of door styles is encouraged. Doors should be energy conscious where appropriate. Side lights or transoms are required on front doors.

APPROPRIATE

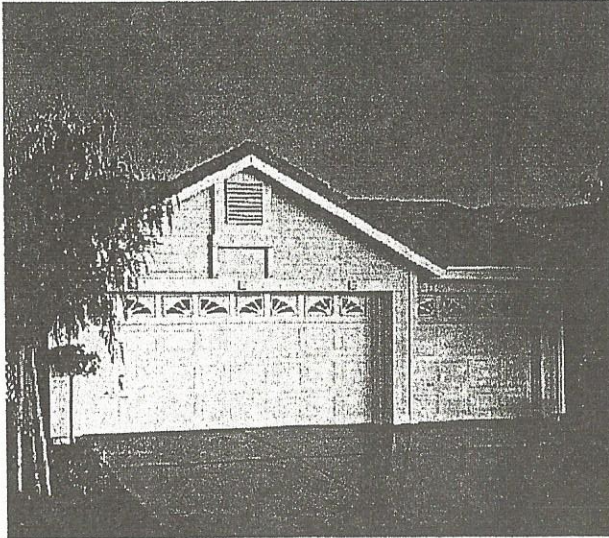
- Embossed or paint-on detail at front entry doors.
- Accent color at front entry doors is encouraged.
- Panelled wood or metal garage doors.
- Muted color scheme on service and garage doors to de-emphasize.



Small Raised Panel Entry Door



Feature Entry Door with Sidelights & Transoms



Garage Doors

- Mixed use of single and double garage doors.
- Trim details around doors.
- 16 or 32 panel garage doors.

INAPPROPRIATE

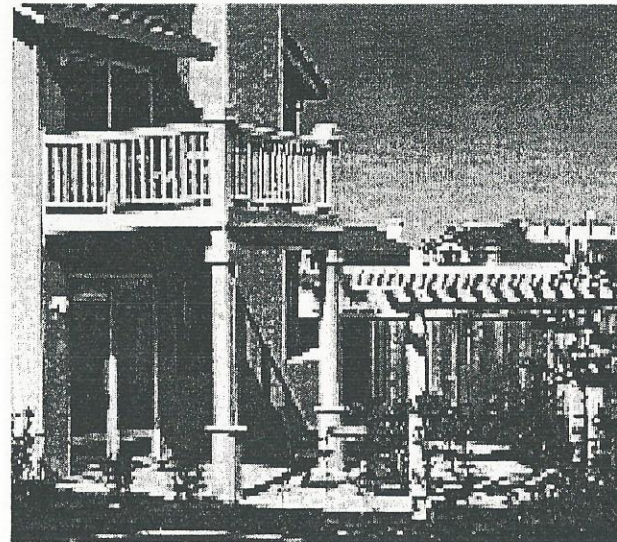
- Flush, non-accented front doors (either by color or detail).
- Translucent fiberglass garage doors.
- Gaudy garage door details which draw attention.
- Strong accent colors on garage and service doors.
- Painted designs on garage doors.

PORCHES, DECKS, AND BALCONIES

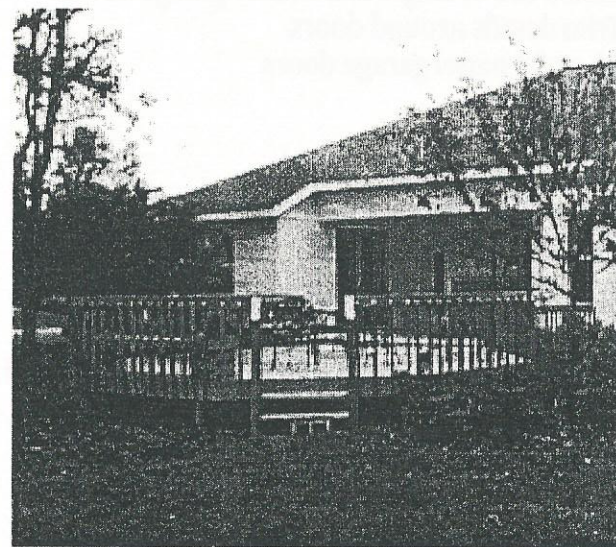
If entry porches are used, they should be designed as dominant features that invite entrance to the dwelling. The use of arches, pediments, columns and railings are encouraged. Porch columns should be a minimum box 8"X 8". Larger 10" or 12" tapered columns are also encouraged and should be selected to complement many architectural styles. Column shall have a minimum 5 1/2" base and 3 1/2" capital treatment, and should be spaced no more than 8' o.c. (except at any proposal porte - cochere). Pickets on porch handrails shall be a minimum of 1 1/2" x 1 1/2" square and a maximum of 6" o.c. Porches shall be raised at least 24" above surrounding grade. The base facade of porches shall be integrated with the materials used on the rest of the house. Materials such as lattice are acceptable if appropriate to the elevation style of the house. Decks (rear only) attached to houses should be large enough to be usable, and built with appropriate wood material which can be exposed to the weather. Enclosed screen porches are acceptable if designed as part of the exterior and are built from materials consistent with the rest of the building.

APPROPRIATE

- Wood decks, painted or stained to be compatible with the house finishes, oriented to the rear.
- Porch handrail systems simple in design, using wood vertical balusters and built-up rails or aluminum of appropriate design.



Balconies



Single Story Decks

- Screen porches that fit the architectural style (encouraged to be on rear elevation).
- Dominant entry porches (encouraged).
- Appropriate scale for columns supporting porches, including built-up box or tapered forms (encouraged).

INAPPROPRIATE

- Metal or fiberglass products for awnings.

EXTERIOR COLORS

The Architectural Review Board will provide builders with a color pallet (body colors & trim) as a guide for homebuilders. Colors will be reviewed on a case by case basis during the design review process and are subject to approval of the Architectural Review Board. The colors submitted must meet any monotony requirements.

It is encouraged that trim colors (other than shutters) be lighter than the body of the house.

Where stucco and siding are side by side, the siding must have a trim board and siding and stucco must be the same color. Shutter accent color should be compatible with the body, trim and roof colors.

Proposed color selections and the intermixing of color packages shall be subject to approval of the Architectural Review Board and must meet any monotony code requirements.

APPROPRIATE

- Stucco areas ranging from off-whites to light browns and light warm greys.
- Brick areas ranging from light browns to rusty reds and light warm greys.
- Siding areas ranging from off-whites to light browns, light warm greys and earth tones.
- Stone areas in earth tones ranging from light tans to medium browns.
- Complimentary trim and siding colors with slight variations in contrast.
- Subtle third color accents.

INAPPROPRIATE

- Stucco areas in pure white.
- Brick areas in shades of white (except white painted brick), creme, black, red or dark brown.
- Siding and trim colors in bright, harshly contrasting ranges.

ELEVATION VARIETY

To create diversity and individuality throughout GRAND OAKS it is critical in the siting of particular dwellings that a variety of styles and color packages be provided for homes in proximity. It is required that side loaded garages be incorporated.

APPROPRIATE

- Each single family plan type shall have a minimum of 3 elevation themes.
- Each elevation theme per plan type shall have a minimum of 3 material and color packages.
- Creative mixing and interaction of plan types, color packages, or elevation themes within the community.

INAPPROPRIATE

- The same plan type, elevation theme, or color package cannot be built next to itself.
- The same plan type, elevation theme or color package cannot be built across the street from itself.



Examples of Multiple Elevations

MAILBOXES

Standardized pre-designed mailboxes shall be selected by the Developer. The builder shall be provided with either a source for a prefabricated mailbox unit or plans for a standard GRAND OAKS design. Every home's mailbox shall be installed as determined by Postal Service requirements. The Postal Service shall identify proper locations for mailboxes for single family dwellings, based on established delivery procedures.

APPROPRIATE

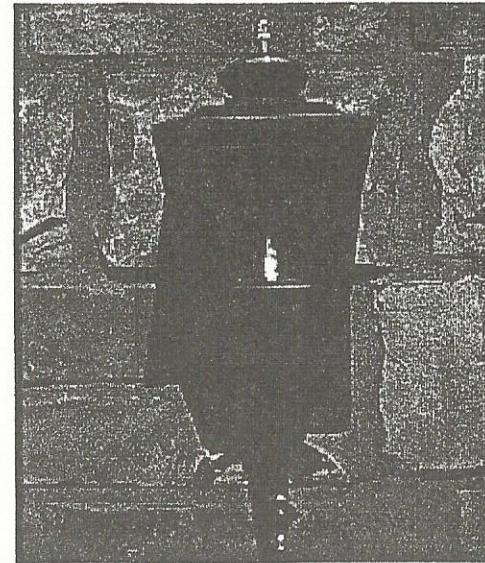
- Predesigned single family mail boxes and post. (selected by the developer)

INAPPROPRIATE

- Mailboxes and support of non-standard design (prohibited).

EXTERIOR LIGHTING

Lighting of homes and their surroundings can add dynamic effects within a community. Effective exterior lighting within GRAND OAKS is encouraged. Light fixtures should be consistent with the theme of the building design. All lighting should be "down" or "area" lighting. All light sources should be white (no colored lights) and no spill over of lights should occur on neighboring properties. Lighting should be shielded to conceal glare. Tree up-lighting should be concealed in shrub. Garden or walkway bollards are encouraged as a way to provide effective, downward directed light.



Surface Mount Lanterns

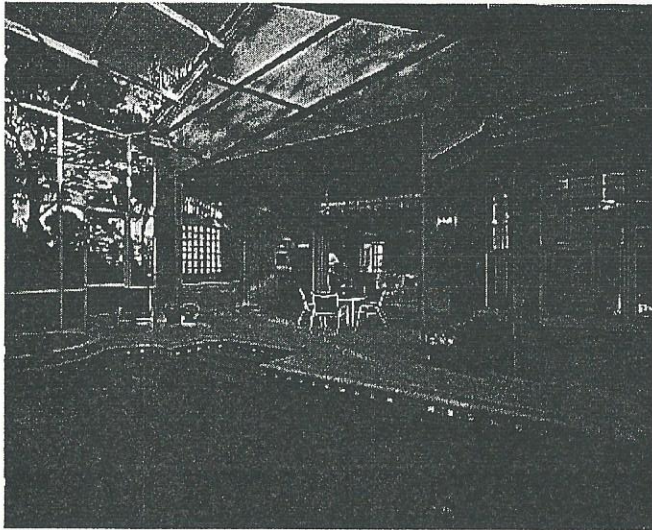
APPROPRIATE

- Wall mounted fixtures at entries that blend with the building design.
- Fixtures and standards shall be designed to aesthetically relate to the character of the development.
- Low wattage bollards at walkways.

INAPPROPRIATE

- Spotlights, non-shielded light fixtures.
- Colored lights, except holidays.
- Spill-over of light onto neighboring property.
- Inconsistent pole lights.

POOLS/SPAS/WATER FEATURES



Typical Pool/Spa Arrangement

All water features are required to be located in rear yards. All water features shall be in-ground, except spas, which may be built into appropriately designed and screened deck systems. Equipment for pools, spas, or fountains should be completely screened from adjoining properties. Small temporary play children's pools are allowed. Safety fencing to be provided in accordance with community fencing guidelines and local codes. Any proposed swimming pool screen cages shall be designed and included as part of the architectural review process.

APPROPRIATE

- In-ground pools with approved fencing and screening.
- In-ground or in-deck spas with approved fencing and screening.
- Ponds constructed with water tight liners, recirculation equipment and overflow provisions.
- Water features to be located in rear yards only, unless provided by developer as a community feature.

INAPPROPRIATE

- Above ground pools (prohibited).
- Above ground spas (unless built into a deck system with spa flush to top of deck or part of an inground pool/spa combination).

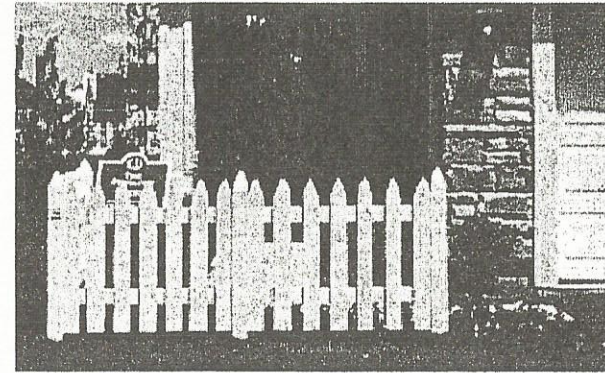
FENCING

While it is the goal of the developer to discourage the extensive use of fencing within the community, it is understood that fencing is necessary to meet the needs of some residents. Therefore, certain fencing will be allowed.

It is preferable that fences do not function as property line markers, but are used (where approved) to define exterior spaces as well as to screen undesirable uses. Landscaping shall be included to "soften" the appearance of the fence.

In rear yards, fencing can be wood or vinyl and must be no more than 40% opaque, and no more than 42" in height. In front yards, accent fencing can be utilized as a design feature. It must be no more than 40% opaque and no more than 36" in height. Fence design and color must be submitted to the A.R.B. for approval prior to construction.

Landscaping, as provided in the landscape guidelines, is encouraged to be installed and maintained on the street side of any fencing in the front yard.



Low Wood Fence

APPROPRIATE

- Rear yard fencing (42" maximum height) will be installed starting 30 feet from the front corner of the house.
- Accent trim repeating fascia or trim details of house at the top of fences.
- PVC fencing.

INAPPROPRIATE

- Stucco walls unless a part of an entry monument, for short lengths.
- Chain link fences.
- Double fences.

ENTRY WALKS & DRIVEWAYS

In all cases, the front door and porch will be connected to the driveway with a minimum 4' sidewalk.

Walkways and driveways are to be constructed of concrete, concrete pavers or brick. All garages will be side entry.

Driveway must be set back a minimum of 10' from the side property lines. All garages will be outside entry. A motor court arrangement may be used to service the front entry of the home.

APPROPRIATE

- Side entry garages.
- Vinyl fence.
- Concrete, concrete paver or brick walks and drives
- Concrete or brick driveways.
- Outside entry garages.
- Front drop off motor courts.

INAPPROPRIATE

- Gravel walks and driveways in the front yard.
- Front entry garages.
- Gravel or shell drives.

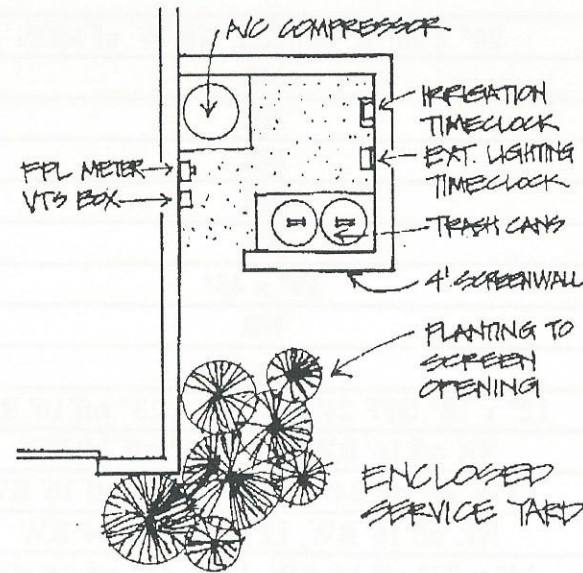
Grand Oaks at Panther Ridge Driveway Culvert Schedule

Lot Number	RCP Size	Lot Number	RCP Size
1	24" x 38" E. of MES, NR W. of MES	16	12" x 18", NR @ SW PC off 16' RW
2	NR	17	14" x 23" off 24' RW, 12" x 18" off 16' RW, NR @ NW PC off 16' RW
3	NR	18	12" x 18"
4	NR	19	14" x 23" off 16' RW, NR off 12' RW
5	NR	20	14" x 23" off 16' RW, NR off 12' RW
6	NR	21	14" x 23" off 16' RW, NR off 12' RW
7	29" x 45"	22	12" x 18" off 16' RW, NR off 12' RW
8	NR	23	NR
9	19" x 30"	24	NR @ NW PC, 12" x 18"
10	12" x 18" OFF 24' RW, 14" x 23" off 16' RW	25	NR @ SW PC, 12" x 18"
11	NR off 16' RW, 12" x 18" off 24' RW	26	NR
12	12" x 18" off 24' RW, 29" x 45" off 16' RW	27	NR
13	NR off 16' RW, 12" x 18" off 24' RW	28	14" x 23", NR @ NW PC
14	14" x 23" off 16' RW, 12" x 18" off 24' RW	29	19" x 30", NR @ SW PC
15	19" x 30" off 24' RW, 14" x 23" off 16' RW	30	NR

SERVICE AREAS & EQUIPMENT

Where possible, meters should be located for easy access but screened from street or neighbor views with landscaping or architectural screening as described in the landscape guidelines. Outdoor mechanical equipment, including wells and pumps should be shielded from view and directed so noise does not affect neighboring property. Satellite dishes are not permitted.

Trash receptacles and air conditioning units should be fully screened by a wall that's compatible with the building's material and style, as well as with the community theme. Overhead trellises and landscaping may be used to soften the impact of the service areas.



APPROPRIATE

- Service meters, mechanical equipment, and trash receptacles grouped and shielded from view in easily accessible location (required).
- Landscaped areas to shield transformers (required).
- Landscaping to shield mechanical equipment (encouraged).

INAPPROPRIATE

- Exposed, unlandscaped meters & services.
- Exposed wells and pumps.

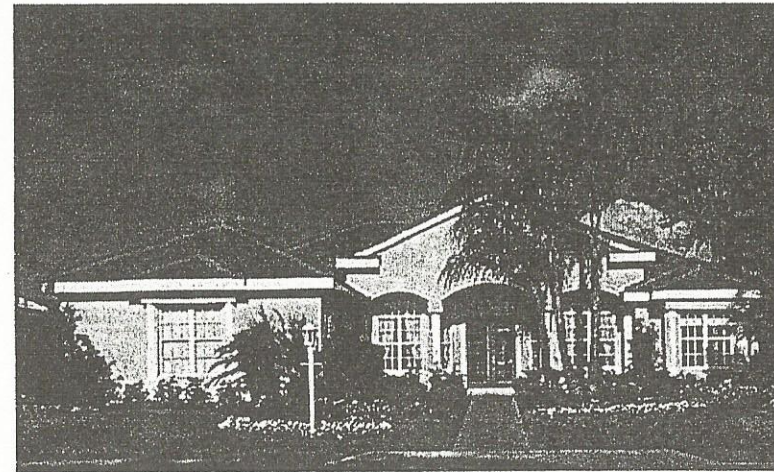
LANDSCAPE CHARACTER & STYLE

It is the goal of the developers at GRAND OAKS to leave as much of each lot as possible in native vegetation for environmental and aesthetic reasons. In those areas cleared for development, all builders are required to install a predesigned landscape package for each single family home.

This landscape section has been designed to provide Property Owners, Architects, Contractors and Builders with important information related to the development of homes to insure a harmonious neighborhood streetscape and to protect the aesthetic quality of the overall community.

The objective is to enhance the natural setting of the GRAND OAKS community. The recommended landscape character should emphasize an informal pastoral scene by use of native plant materials and natural areas. Front yard plantings should be sympathetic to the overall neighborhood streetscape in form, texture and simplicity of design. This can be achieved by limiting the front yard planting to lawn, trees and informal foundation plantings.

Plantings should be designed to provide privacy of the homeowner and the neighbors. Plantings along common property lines should be native informal unsheared plantings. Straight line hedge plantings are encouraged along front property lines. Accessory structures, sculptures and decorative objects such as statuary bird baths, are prohibited in front yards.



Large paved areas for residents and their cars should be designed to allow a reasonable area between the paved area and property lines to allow for landscape screening which would reduce the visible impact of the large paved areas.

Dense textured shrubs should be placed as necessary to stop headlight glare into the dwelling unit as the situation occurs.

All mechanical equipment, ground mounted utilities and service areas not occurring within a building should be screened from adjoining properties by a visual barrier such as a fence (see fence section) or landscaping sufficient in form and texture to effectively screen the item.

APPROPRIATE FRONT & SIDE YARD

- Informal (except for front hedge)
- Shredded bark mulch
- Flowing layered beds
- Natural vegetation

INAPPROPRIATE FRONT & SIDE YARD

- English Gardens
- Oriental Gardens
- White stone for mulch
- Palms other than sabal palms

LANDSCAPE PLANTING GUIDELINES

In the areas other than left in their natural state, generally simple plantings with a limited variety of material should be used to create a well integrated neighborhood landscape. This is particularly true in front yards or other highly visible areas.

Landscape amenities should create aesthetic and functional solutions to environmental considerations such as creating and enhancing views and view corridors, creating privacy wherever desirable, screening of undesirable views or elements, and providing shade and temperature control. Landscaping should be used to visually soften the perception of residential structures with greenery and vertical scale, yet permit desired views and vistas. An important goal is to provide noise reduction and visual density at adjacent properties and rights of way.

Layering of plant materials is encouraged. Plants of different heights should be planted together with lower plants in front of the taller plants.

The spacing of plant material should be commensurate with anticipated mature growth in order to promote natural forms without the need for excessive pruning and maintenance in the future.

Quality landscaping is important to both the appearance of the individual homesite and multi-family areas as well as the overall continuity of the community. To accomplish this effect, a recommended plant list is included for guidance in selecting plants that will perform in our climate and soil conditions. The list is not intended to be all inclusive or restrictive, but should be used as a guide.

It will be the responsibility of the builder and or homeowners to landscape any areas disturbed by construction. A minimum of 500 square feet of shrub beds is required to enhance the view of the house from the street. Corner lots shall have a minimum of 800 square feet. All other landscape areas shall be sodded. Sod or landscaping is required if clearing of the native material has taken place. A minimum of five (5) trees (12' min. height) shall be planted on each lot. At least three (3) of these required trees shall be Live Oak (*Quercus Virginiana*) and be planted as street trees clustered in the corner of each lot. The developer will coordinate the planting of these street trees to achieve a well organized streetscape appearance. All landscape areas, front and back, shall be irrigated and controlled by an automatic timer.

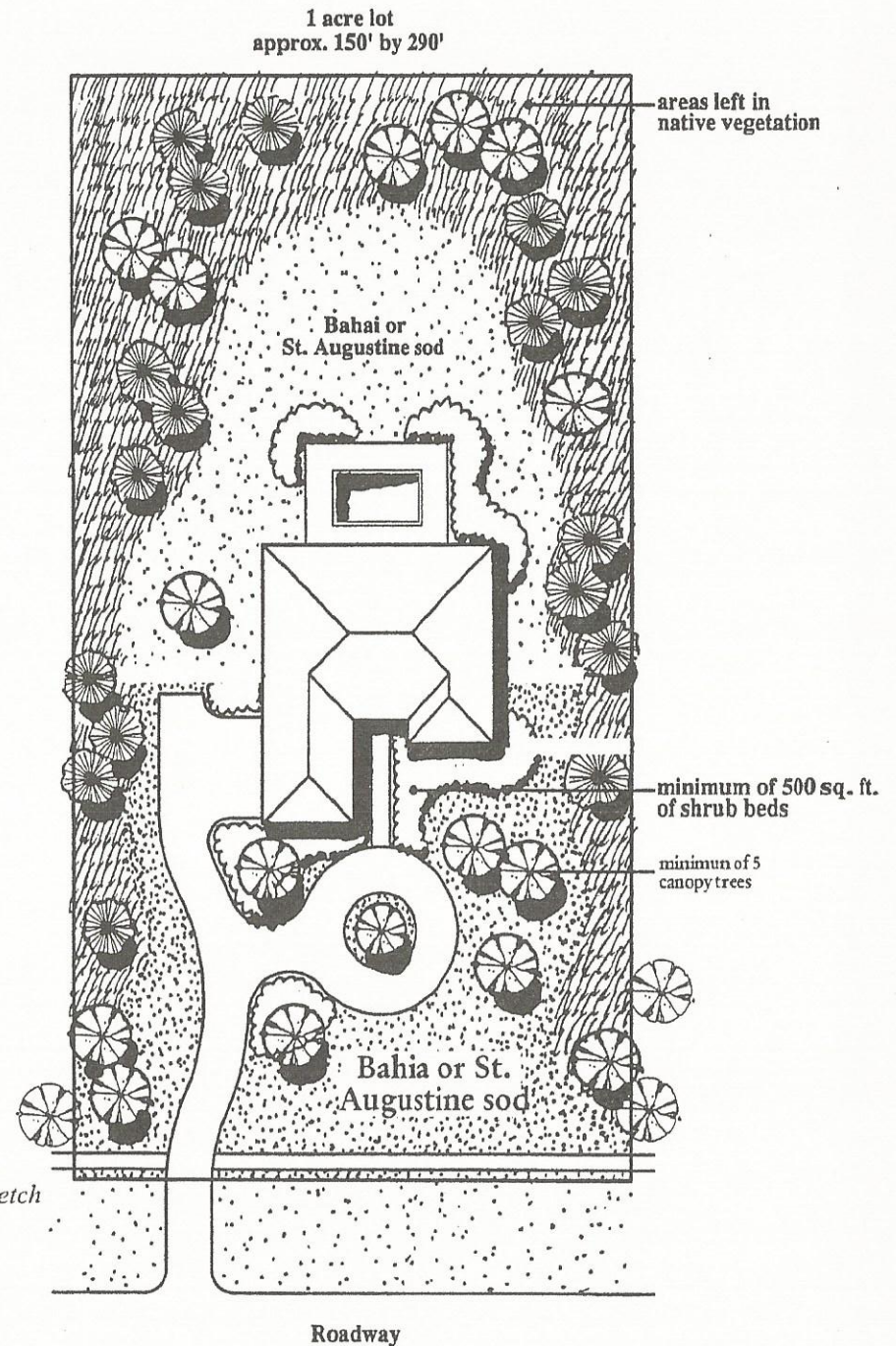
A landscape plan showing the builders intent must be submitted to the GRAND OAKS Architectural Review Board, for approval prior to move in.

Regarding plant quality, all trees and shrubs shall be Florida #1 or better as defined in "Grades and Standards for Nursery Plants," Part I & II, Department of Agriculture, State of Florida. All landscaped areas shall be irrigated by automatic irrigation underground system. Positive drainage shall be provided in all areas.

All other planting will be as informal in nature as possible. All shrub beds will receive a minimum of a 3" layer of wood mulch or pinestraw.

The builder is responsible for screening out air conditioning units, trash storage areas, pool equipment and other unsightly elements from public view by means of an approved privacy fence and or plant material. The builder is also responsible for screening from public view, transformers, telephone junction boxes, etc. that fall on the lot.

Landscape Requirements Sketch



RECOMMENDED PLANT LIST

Shade and Ornamental Trees & Palms

Trees

(N) Live Oak
(N) Laurel Oak
(N) Southern Magnolia
Drake Elm
(N) Sweet Gum "Palo Alto"
(N) Red Maple
Camphor Tree
Slash Pine
Crape Myrtle
Ligustrum Tree

Palms

(N) Cabbage Palm
Washington Palm
Windmill Palm
Canary Island Date Palm
Paurotis Palm
European Fan Palm
Pygmy Date Palm

Shrubs-Medium

Azalea Varieties
Viburnum
Compact Pittosporum
Dwarf Cornuta Holly
Dwarf Buford Holly
(N) Yellow Anise
Thyrallis
Wax Privet
Juniper
(N) Inkberry
(N) Florida privet
(N) Saw palmetto
(N) Walter's Viburnum
(N) Fetterbush
Podocarpus
Jasmine Varieties

Fountain Grass
Camellia
Dwarf Oleander
Surinan Cherry
Blue Daze
Gardenia
Hollyvarieties
Indian Hawthorn
Surinam Cherry

Accent

(N) Coontie
Heavenly Bamboo
(N) Crinum Lily
European Fan Palm
King Sago
Philodendron
Bird of Paradise
Chinese Fan Palm
(N) Saw palmetto
Grafted Gardenia

Dwarf

Azalea Varieties
Parson's Juniper
Blue Shore Juniper
White Indian
Hawthorne
(N) Yaupon Holly
(N) Coontie
Liriope
Mexican Heather
African Iris
Daylilies

(N=Native)

Ground Cover

Cast Iron Plant
Dwarf Jasmine
Daylilies
Mondo Grass
(N) Gulf muhly
(N) Spartina
Heather

Grass

St. Augustine "Floritam"

**The following plants will not
be allowed for landscaping
purposes:**

Australian Pine
Punk Tree
Brazilian Pepper
China Berry
Rosewood
Carrotwood
Norfolk pine

GENERAL RULES FOR GRAND OAKS AT PANTHER RIDGE BUILDERS, SUBCONTRACTORS, & WARRANTY PERSONNEL

Builders and subcontractors are required to keep job sites as neat and clean as possible. Daily removal of trash and debris is required. Job site dumpsters are to be removed when full. Stockpiling or dumping on surrounding sites is prohibited.

Speed limits throughout the entire community shall not exceed 25 miles per hour.

Loud radios or noise will not be allowed. Normal radio levels are acceptable.

No vehicles may be left in the subdivision overnight. Construction vehicles may be left overnight, but must remain on the street.

Specific areas of the site contain natural marshes and wetlands. These areas are to be protected during construction from vehicles, trash and storage.

It is a goal of Panther Ridge Communities Ltd. to protect as much native area, including trees, as possible. Native areas and trees that are to be saved will be fenced off with temporary fence for protection. Trees are to be protected at drip line (furthest extent of branches) from construction equipment. The area within the fence shall not be used for materials storage, cleaning of equipment or vehicles, parking, or any other construction-related activity. The builder or general contractor will be held responsible for tree and native area protection.

ON SITE SIGNAGE

The developer shall provide an approved "on site" signage design package for implementation by the builder (as necessary). Material and colors will be included as part of the package.

All signs to be lighted will be ground lit. The light source shall be hidden from view with appropriate landscaping.

COMPREHENSIVE DESIGN REVIEW CHECKLIST

GRAND OAKS AT PANTHER RIDGE Design Review Coordinator will review all development proposals for conformance to the Design Guidelines. Each submittal should reflect the design intent for the GRAND OAKS community objectives. Below is a general checklist to be used as a reminder for the builder's design team, ensuring all elements are considered.

Site Development Guidelines

- Setbacks
- Grading
- Drainage

Architectural Design Guidelines

- Character & Style
- Building Massing
- Roof Design
- Pitch/Shape/Overhangs
- Building Entries
- Porches, Columns, Rails
- Finish Materials
- Walls, Roof, Colors
- Windows & Doors
- Garages
- Details
- Shutters, Trim, Muntins, Mouldings, Accent Areas

- Exterior Lighting
- Chimneys
- Mechanical Equipment
- Pool Screen Cages

Landscaping Guidelines

- Character & Style
- Screening/Buffering
- Patios
- General Planting Selections
- Minimum Planting Requirements
- Landscape Maintenance

Fencing Guidelines

- Required Styles
- Approved Locations
- Privacy Screening
- Pool Fencing
- Service Area Screening
- Appropriate Materials